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RP-2021-490970
08/27/2021 RP1 \$30.00

AFFIDAVIT FOR THE FILING OF DEDICATORY INSTRUMENTS

THE STATE OF TEXAS

COUNTY OF HARRIS

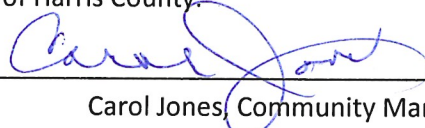
WHEREAS, SECTION 202.006 of Title 11 of the Texas Property Code require that a property owner's association file its dedicatory instruments in the real property records of the county in which the property is located, and

WHEREAS, The New Property Owner's Association of Newport, Inc. dba Newport Property Owner's Association (the "Association") is a property owner's association as the term is defined in Title 11 of the Texas Property Code.

NOW, THEREFORE, true copy of the following dedicatory instrument of The New Property Owner's Association of Newport, Inc. adopted August 19, 2021 to be effective September 1, 2021 is attached hereto, including:

GUIDELINES FOR FENCES AND SECURITY CAMERAS

FURTHER, other dedicatory instruments of The New Property Owner's Association of Newport, Inc. have already been filed in the public records of Harris County.



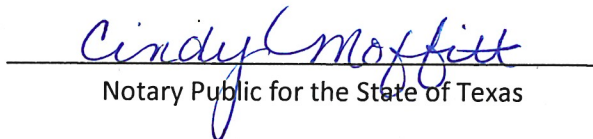
Carol Jones, Community Manager

STATE OF TEXAS

COUNTY OF HARRIS

BEFORE ME, the undersigned authority, on this day personally appeared Carol Jones, whose position is Community Manager for The New Property Owner's Association of Newport, Inc., known to me personally to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed same for the purposes and in the capacity therein expressed.

SUBSCRIBED AND SWORN TO BEFORE ME on this 25th day of August, 2021.



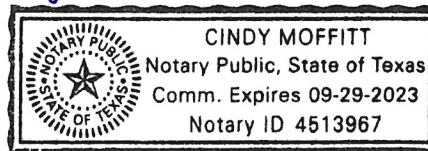
Notary Public for the State of Texas

Return to:

Newport Property Owner's Association

P.O. Box 1362

Crosby, Texas 77532



STATE OF TEXAS §
COUNTY OF TEXAS §

KNOWN ALL PERSONS BY THESE PRESENTS:

- (a) Section One, under Volume 190; Film Code No. 683424; Film Code No. 683426.
- (b) Section Two, under Volume 195, Page 35.
- (c) Section Three, under Volume 195, Page 66.
- (d) Section Four, under Volume 198, Page 53; Film Code No. 678152; Film Code No. 685125; Film Code No. 688176; Film Code No. 692763.
- (e) Section Five, under Volume 196, Page 138.
- (f) Section Six, under Volume 205, Page 008; Film Code No. 690936.
- (g) Section Seven, under Volume 206, Page 134; Film Code No. 689090; Film Code No. 687650; Film Code No. 691514; Film Code No. 691539; Film Code No. 692599.
- (h) Section Eight, under Volume 288, Page 20; Film Code No. 677906; Film Code No. 682281; Film Code No. 684272; Film Code No. 685230.
- (i) Section Nine under Film Code 68115.
- (j) Section Ten, under Volume 220, Page 76; Film Code No. 692117.
- (k) Section Eleven, under Film Code 605103; amended under Film Code 642094.
- (l) Section Twelve under Film Code No. 679559.
- (m) Country Club Estates, under Volume 293, Page 64; Film Code 692598; Film Code No. 692595.
- (n) Oaks of Newport, under Volume 312. Page 64.

- (o) Deerpointe, Section One, under Volume 286, Page 103.
- (p) Patiowoods, under Volume 235, Page 139.
- (q) Seven Oaks North, under Volume 638, Page 86.
- (r) Seven Oaks South, under Volume 668, Page 228.
- (s) Golf Terrace under unrecorded map.
- (t) Country Club Villas under unrecorded map.
- (u) The Villas at Newport under Film Code 673168.
- (v) Newport Court under Film Code No. 679433.

I Security Cameras

Security Cameras may be affixed to a dwelling or outbuilding located on a privately owned lot in Newport Subdivision provided the camera does not illuminate the interior of a dwelling or outbuilding on an adjacent lot and does not invade the privacy of an adjacent property owner.

II Perimeter Fences

1. Sections Two, Three, Four, Five and Six prohibit fences on a pipeline pursuant to the recorded plats. Fences in these sections may go to the pipeline but not extend into the pipeline.
2. Lots adjacent to platted drainage easements – fences are not permitted within the platted drainage easement pursuant to Harris County.
3. Lots adjacent to the golf course. Fences on the golf course must be four (4) foot wrought iron fence. Fences from front of house to eight (8) feet from wrought iron fence may be six (6) foot wood, or other approved material for privacy fence with a half foot rot board, provided it does not obstruct the adjacent owner's view of the golf course.
4. Corner lots may not construct a fence over the side set back line to maintain clear sight visibility from adjacent street.
5. With exception to the guidelines in Nos. 1, 2, 3, and 4 above, all other lots in Newport Subdivision may construct privacy fences from the front set back line to the rear property line and across the rear property line. Material must be approved by the Architectural Control Committee and in accordance with the Guidelines set forth in Article 3 "Fences and Gates" of the Architectural Control Guidelines, dated June 2020, recorded under Clerk's File No. 2020-336623 of the Real Property Records of Harris County, Texas and any amendments thereto.

6. No fence of any type may be constructed over a setback line shown on the recorded plat of their respective section in Newport.
7. All fences must have the approval of the Architectural Control Committee.
8. All Home Improvement Request for fences must be accompanied by an engineered survey (plot plan) showing the location of all improvements, set back lines, easements and highlighting the location of the proposed fence.

These guidelines are effective upon recordation in the Public Records of Harris County. Except as affected by Section 202.023 and/or by these guidelines, all other provisions contained in the Declarations or any other dedicatory instruments of the Association shall remain in full force and effect.

Approved and adopted by the Board on August 19, 2021.

Kim Davila, President
The New Property Owners Association
of Newport, Inc.

STATE OF TEXAS

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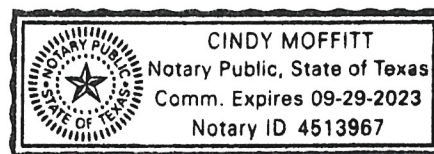
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COUNTY OF HARRIS

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Before me, the undersigned authority, on this day personally appeared KIM DAVILA, President of The New Property Owners Association of Newport, Inc., on behalf of such entity.

Notary Public in and for the State of Texas



FILED FOR RECORD

1:20:33 PM

Friday, August 27, 2021



COUNTY CLERK, HARRIS COUNTY, TEXAS

ANY PROVISION HEREIN WHICH RESTRICTS THE SALE RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS INVALID AND UNENFORCEABLE UNDER FEDERAL LAW.

THE STATE OF TEXAS
COUNTY OF HARRIS

I hereby certify that this instrument was FILED in File Number Sequence on the date and at the time stamped hereon by me; and was duly RECORDED; in the Official Public Records of Real Property of Harris County Texas

Friday, August 27, 2021



COUNTY CLERK
HARRIS COUNTY, TEXAS